

Property Owner Handbook

Fire Island Inlet to Montauk Point Home Elevation Pilot Project

Version 1 | Date: May 2025



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Property Owner Handbook

Fire Island Inlet to Montauk Point Home Elevation Pilot Project

May 2025 Version 1

Prepared by the
U.S. Army Corps of Engineers New York District

The policies and procedures in this handbook are current as of April 2025. This handbook represents the current version of U.S. Army Corps of Engineers policy and provides general guidance for the participation in the project. This handbook will be reviewed periodically and will be updated. The U.S. Army Corps of Engineers New York District will use its best efforts to keep all of its Policy Manuals current. Therefore, you are strongly urged to visit our Website at <https://www.nan.usace.army.mil/FIMPRSN/> or to contact FIMP.NS.Admin@usace.army.mil to ensure that you have the latest version of this handbook. There may be times, however, when a policy will change before this handbook can be revised. The New York District team is your resource to ensure the most current understanding of project policies and procedures.



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Dear Property Owner,

Choosing to elevate your property is a smart decision in the face of increasing flood threats along our coast. I know it is also sometimes a difficult and emotional decision that will reflect your personal goals and needs. The New York District created this handbook to help you determine whether elevation is the best option to manage flood risk to your property, and how you can participate in the Fire Island Inlet to Montauk Point, New York (FIMP) Home Elevation Pilot Project. This handbook outlines the project process – from your initial interest form to move-in after construction is completed. It also includes information about common issues, questions, and concerns that may be applicable to your property.

Please consider the information in this handbook and reach out to the New York District team with your questions. My team remains a resource to you along the journey to elevate your property. We can be reached via email at FIMP.NS.Admin@usace.army.mil and at the FIMP Home Elevation Pilot Project Hotline at 347-588-1225.

Sincerely,

COL Alexander Young
Commander
New York District
U.S. Army Corps of Engineers



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Definitions

Additional Work describes work not related to elevation.

Architect/Engineer (AE) is a firm contracted by USACE to conduct surveys and design work

Betterment describes improvements related to the elevation work but outside of the project scope.

Bonded means that the contractor has purchased a surety bond. Having a contractor who is bonded provides protection to the client and property owner.

Base Flood or 100-year Flood is defined by the National Flood Insurance Program (NFIP) describes a flood with a one percent (1%) chance of being equaled or exceeded in any given year. It is important to note that the term ‘100-year flood’ does not mean that a flood of that size will happen only once every 100 years.

Base Flood Elevation (BFE) is the elevation of water that a flood has a one percent (1%) chance of equaling or exceeding in any given storm. In the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map, BFE defines Zones AE, AH, AR, AR/A, AR/AE, AR/AH, and AR/AO.

Cure Actions are any steps that a property owner must take to make their property compliant with Pilot Project requirements, including activities required to bring a property up to applicable building code and others such as remediating asbestos. Under this project, a property owner must perform all cure actions required prior to elevation work.

Certificate of Occupancy (CO) is a legal document that certifies a building is safe and ready to be used. It verifies that the structure complies with local building codes, usage regulations, and safety requirements. A CO is required prior to habitation after construction.

Design Flood Elevation (DFE) is the elevation of water representing the Base Flood Elevation (BFE) + the required freeboard. In the case of the Pilot Project, the freeboard is two feet.

Elevation refers to the raising of property. Under this Pilot Project, properties will be elevated BFE + two feet.

FIMP Fire Island Inlet to Montauk Point is the larger authorized study that includes home elevations as well as other coastal storm risk measures

Floodproofing describes any combination of structural and non-structural additions, changes, or adjustments to structures which reduce or eliminate flood damage to real estate or improved real estate property, water and sanitary facilities, structures and their contents. Under this project, the term “floodproofing” primarily refers to property elevations.

Wet floodproofing refers to measures that minimize damage from flooding by allowing flood waters to enter enclosed areas of a structure.



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Dry floodproofing (not applicable to FIMP Pilot Project or residential structures) refers to measures which reduce damages by making elements watertight, substantially impermeable and structural elements having the capacity to resist flood loads. This is not permitted in residential structures.

Freeboard is the additional height a structure must be elevated above the base flood elevation.

General Reevaluation Report (GRR) is the published FIMP Report that details the entire study and measures and can be found <https://www.nan.usace.army.mil/Missions/Civil-Works/Projects-in-New-York/Fire-Island-to-Montauk-Point/FIMP-Reports/>

Hazardous, Toxic and Radioactive Wastes (HTRW) is a USACE term. This term refers to any material deemed a “hazardous substance” by the Comprehensive Environmental Response, Compensation, and Liability Act and any other regulated material under local or state pollutants.

Nonstructural improvement is a term used nationally by USACE to refer to property elevations, flood-proofing, and property acquisitions. Under this project, the term “nonstructural” primarily refers to property elevations.

Participation Agreement is a contractual document among the property owner, the USACE, and the NYSDEC to proceed with the elevation. After signing the Participation Agreement, the property owner is committing to completing the Pilot Project.

Pilot refers to the first contract under the larger FIMP Home Elevation Project and includes a small subset of homes within Brookhaven and Babylon

Project refers to the entire Home Elevation Project

Non-federal Sponsor (NFS) is the non-federal partnering agency on the Project. Under FIMP, the NFS is the New York State Department of Environmental Conservation (NYSDEC)

Restrictive Covenant is required for participants in the Pilot Project. This restricts activities that would conflict with the project, such as occupying living space below the first floor. It is a document, once signed by the property owner, would stay with the property, identifies the required conditions and binds any subsequent owner.

Right-of-Entry (ROE) is a legal document that allows USACE and their contractor to enter a property under specific conditions.

Ten-Year Flood is a flood with a ten percent (10%) chance of being equaled or exceeded in any year. This distinction does not mean that a flood will happen once every 10 years.



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1. Introduction

Thank you for your interest in participating in the Fire Island Inlet to Montauk Point (FIMP) Coastal Storm Risk Management Project (“Project”). This handbook serves as a guide for property owners who participate in the FIMP Home Elevation Pilot Project (“Pilot Project”). It includes information about the property elevation process, as well as common issues and concerns. For additional information or questions about potential work on your property, contact the project team at 347-588-1225 or FIMP.NS.Admin@usace.army.mil.

1.1 What is the FIMP Project?

The purpose of the FIMP Project is to manage coastal storm damage on the south shore of Suffolk County and includes, among other approaches, the elevation of homes and businesses. The FIMP Project identified over 4,000 homes and businesses in the 10-year floodplain as preliminarily eligible for elevation pending structural and environmental review. Homes that have previously been elevated or received grant money for elevation by another federal agency are not eligible. Elevation of an eligible home is intended to reduce the consequences of flooding as it relates to health and human safety as well as to your home and its contents.





1.2 What is the FIMP Home Elevation Pilot Project?

The FIMP Home Elevation Pilot Project is the first stage of the home elevation component of the FIMP Project. The FIMP Home Elevation Pilot Project includes the first properties that may be eligible for voluntary, federally funded home elevations in two communities - Mastic Beach (Town of Brookhaven) and Frederick Shores (Town of Babylon). The purpose of the Pilot is to fine-tune our implementation of the home elevation process. These two communities were selected in coordination with towns in the project area, based on need, interest, and history of similar work in the area. Elevations for the Pilot are voluntary and eligible homeowners will remain eligible for elevations in future contracts if they choose not to participate in the Pilot.

Outreach and applications for the Pilot concluded in November 2024. Of the identified eligible structures, 70 homes moved forward into the screening and survey phase. Structural, architectural and environmental screenings for these homes concluded March of 2025 Outreach for homes outside of the Pilot is anticipated Summer of 2025. The interest form has remained open to allow homeowners to express interest.

1.3 What is a Home Property Elevation?

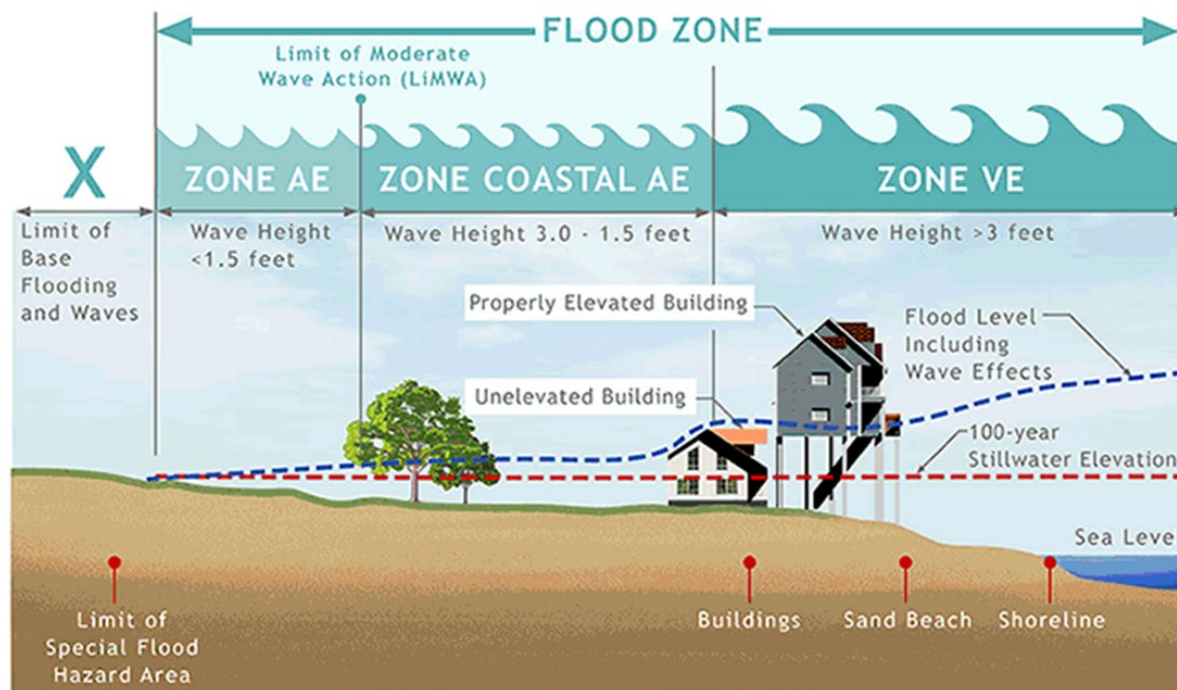
Property elevation is the process of raising a property and its contents above their current location. It is intended to reduce the consequences of potential damage to the property and its contents from flooding. Generally, buildings “are separated from their foundations, raised on hydraulic jacks, and held by temporary supports while a new or extended foundation is constructed below. The living area is raised and only the foundation remains exposed to flooding. [...] When houses are lifted with this technique, the new or extended foundation can consist of either continuous walls or separate piers, posts, columns, or pilings.”¹

¹ U.S Federal Emergency Management Agency (FEMA). “Elevating Your House.” Chapter 5 <HGTR sec5.p65 (fema.gov)>



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You can find more information about construction methods on the project website:
<https://www.nan.usace.army.mil/FIMPRSN/> as well as in Section 5.



1.4 Who is Leading the Project?

The U.S. Army Corps of Engineers, New York District (USACE) is undertaking this work in partnership with the New York State Department of Environmental Conservation (NYSDEC), the Town of Babylon, and the Town of Brookhaven.

Dewberry–Gannett Fleming Joint Venture (DGF) is providing consultant support to USACE through the preliminary design of the Pilot Project. First Environment, Inc. is providing consultant support to USACE to perform the environmental screening for final eligibility determinations. A design-build contractor who will complete the design and perform the construction has not yet been identified but will be prior to elevation of your property. You may talk or meet with staff from some or all of these offices throughout the elevation process.



1.5 How Much will this Project Cost the Homeowner?

The Project will cover all eligible project costs necessary to elevate your property and retrofit its foundation. Eligible project costs of elevation include design costs and costs of obtaining required permits (for example, zoning or land use approvals, environmental permits, preliminary site assessments or required certifications, historic preservation approvals, and building permits associated with the elevation work), unless identified as an ineligible project cost. Please see Section 4 for an in-depth discussion of eligible and ineligible project costs and betterments.

For USACE to elevate the structure, you must ensure that the structure meets current applicable building code standards and is in compliance with all environmental regulations. The Project will not cover costs associated with bringing your property up to code unless the issue can be rectified as part of the raising.

There are certain costs that are ineligible by Federal rules associated with the elevation of your property. For example, project funds cannot be used to restore, replace, or repair your property prior to elevation, and will not be used for permits or applications associated with such restoration, replacement, or remediation work. Project funds cannot be used to cover costs associated with repairs or remediation required to bring the structure up to applicable building codes or in compliance with environmental regulations.

Non-eligible project costs, such as enhancements or bringing your structure up to code are solely your responsibility. Sections 5 and 6 discuss eligible and ineligible project costs in detail.



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1.6 Who is Eligible to Participate?

Eligible property addresses can be found on the online look-up tool on the project website: <https://www.nan.usace.army.mil/FIMPRSN>. Homes that fall within the 10-year floodplain are considered preliminarily eligible pending structural and architectural screenings. Details on the 10-year floodplain can be found in the Fire Island to Montauk Point General Reevaluation Report <https://www.nan.usace.army.mil/Missions/Civil-Works/Projects-in-New-York/Fire-Island-to-Montauk-Point/FIMP-Reports/>.

Homeowners are eligible for the Pilot if their home is identified in the 10-year floodplain, and not already elevated. Homes that have previously been elevated or received grant money for elevation by another federal agency are not eligible. USACE will conduct initial outreach to determine eligibility.

1.7 Tenants of an Eligible Property

Property owners are eligible for the Project whether you live in the property or own it as a rental. Tenants of rental properties are not able to commit to participating in the Pilot Project and are encouraged to work with their landlord about potential participation. Should a property owner elect to participate in this Project, tenants may be considered displaced persons and may be eligible for relocation benefits.



2. Home Elevation Process – Start to Finish

If you decide to elevate your home as part of the FIMP Project, there are a few steps you as the homeowner will need to take

2.1 Interest and Eligibility Phase

Prepare your home before final commitment to construction



2.1.1 Determining Eligibility and Indicating Interest

Submit Interest Form

For all properties in the Pilot area, the FIMP Project team sent a letter to the address on file with the Suffolk County tax assessor's office. The letter included information on how you can sign up to participate in the Pilot Project. This outreach provided instruction and assistance in signing up to participate or indicating your choice to opt-out of the Pilot Project. The opt-in period closed on November 30, 2024. Letters for property owners outside the Pilot identified for the next phase of construction will receive a similar notification Summer 2025.

Once ready, you can visit our website <https://www.nan.usace.army.mil/FIMPRSN/> to access the 2-Step Project application. All documents and information will be stored on a secure online portal (uCOP Portal) managed by the USACE.



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Eligibility
Verified

Step 1: Eligibility Verification. You must first input your address to confirm your property's eligibility. If the address is not listed as eligible, you may continue to fill out the Interest Confirmation, leaving a comment requesting an eligibility reassessment.

Step 2: Interest Confirmation. There are two parts to this form. First, you must give the USACE permission to use your address and any information provided through the Eligibility Verification to check eligibility and to share that information with contractors and other necessary parties to continue with the rest of the Project. After the acknowledgment, you must identify whether you are interested in continuing to move forward with the Pilot Project.

After we receive your Interest Confirmation, a USACE representative will reach out to you when we are ready to proceed to through the screening steps. This may take a few months. We will only reach out to proceed when your neighborhood is scheduled to proceed to construction.

If the application is determined to be incomplete, the USACE will reach back out to identify interest. If you are no longer interested, you will be removed from the application pool.

At any time, a property owner can indicate their interest by submitting a form through the above website. An interested party does not need to wait for a notice in the mail in order to indicate interest. However, these interest forms are not first-come-first-serve. Your interest form will remain on file for the duration of the Project, and we will contact you directly when construction reaches your neighborhood. Our Project area is large and therefore it is not possible to elevate individual homes as they apply. We are phasing construction strategically to capture all neighborhoods in the Project area. Announcements for anticipated construction timelines will be posted to our website as they become available.



Sign Right-of-Entry

Right-of-Entry

After your interest has been processed by USACE or their contractor, you will be mailed a Right-of-Entry (ROE). Right of entry refers to the **legal right to enter a particular property or premises**. This can be granted through ownership, lease, rental agreement, easement, or other type of permission. This document must be signed by all parties on the deed. After you receive an ROE in the mail you are welcome to discuss it over with your lawyer before signing and mailing back to USACE for countersignature and execution. There will also be drop-off boxes at your Town Hall that you can drop a signed ROE into for your convenience. An ROE **must** be signed prior to proceeding with the Project. The ROE allows USACE and its contractors to enter your property at scheduled times, coordinated with your availability. At those scheduled times, USACE and its contractors will conduct structural and environmental assessments to further determine the structure's eligibility to be included in the Project. Both the structural and environmental assessments will be provided to you after review from your Town.

2.2 Home Surveys and Screening

Structural,
Architectural
and
Environmental
Surveys of your
Property

Before final eligibility determinations are made, the screening contractors must inspect the structure to determine if elevation is a viable mitigation measure and if the structure itself is safe to work on. The inspection will screen for three potential barriers (described below): building code compliance (Section 2.2.3), environmental site assessment (Section 2.2.1), and cultural resources (Section 2.2.2). All three analyses will be undertaken by USACE contractors.

You can expect someone to be on your property at least three times during this phase:

- A surveyor(s) will assess the property exterior to measure property grade and boundaries;
- An architect(s) will enter your property to obtain measurements and document existing conditions;
- An engineer(s) will enter your property to review the condition of the structure, locate



your boiler and other mechanical equipment, and make additional measurements (this will occur subsequent to #2);

- An environmental professional will assess your property to check for lead paint, asbestos, and other hazards; and
- An Architectural Historian will access the exterior of the property to determine if your property is eligible for the National Register of Historic Places.

You are
responsible for
committing to
resolving cure
actions

Remediations, abatements, or permitting/code corrections identified during these assessments will be your responsibility. You will be responsible for resolving these items before participation in the Project can move forward. These remediations (“cure actions”) will be communicated to you directly from your Town. Corrections will need to be verified by the Town in order to proceed to construction.

2.2.1 Environmental Site Assessment

Phase 1 Environmental Site Assessments Phase (ASTM method) and asbestos and lead-based paint screenings will be performed by a USACE Contractor to identify potential or existing environmental concerns that may be present on the property. Initial screening will be performed while you are present in your home via a visual inspection and lead paint screening with a handheld meter. If visual inspection indicates the potential presence of environmental concerns, including, but not limited to, lead, asbestos, buried oil tanks, etc., a second inspection (Phase II Environmental Site Assessment (ASTM method)) and/or asbestos or lead paint sampling investigation will be performed to collect and analyze samples in order to more accurately determine the presence or absence of such materials.

If environmental concerns are present on the property, you are financially responsible for the necessary remediation as described in the assessment report, which will be developed following inspections. If the remediation is not completed for any reason during the duration of the project, the structure will be disqualified from the current Project. Communication regarding environmental assessment and its results is the responsibility of the Town.



2.2.2 Cultural Resource Assessment

A National Register of Historic Places (NRHP) Evaluation will be done to determine if the property is eligible for listing on the local NRHP. This will be done by a visual inspection by a Secretary of the Interior (SOI) qualified Architectural Historian. If a property is determined to be eligible for the State or National Register, the Architectural Historian shall work with the USACE

Archaeologist and the New York State Historic Preservation Office (NYSHPO) to determine if the historic property will be adversely affected by the proposed nonstructural measure.

If it is determined that the property will be adversely affected by the proposed nonstructural measure, the USACE Archaeologist and Architectural Historian shall prepare a mitigation plan to identify ways to resolve adverse effects. The USACE archaeologist and NYSHPO will determine if archaeological survey(s) are required and carry out these investigations, if necessary.

If cultural resources (e.g., historical artifacts) are present in the area as assessed by the contractor, you are not financially responsible for the mitigation actions, but you must work closely with the USACE archaeologist and the contractor. If the issue cannot be resolved, the structure will be disqualified from the current Project.

2.2.3 Building Code Compliance

The Town will
notify you to
discuss cure
actions

All structures on a property will be screened for compliance with applicable building code requirements with regards to home elevation. If the main structure does not meet applicable codes, cure actions will be communicated to you by the Town. Cure actions are actions required to bring your property into conformance with current applicable codes and completion of these actions will be required to continue your participation within the Project. Cure actions are not eligible project costs. It is your responsibility to ensure that the structure is code compliant before construction begins.

Work on your property to bring the structure into compliance with the applicable building codes will be verified prior to construction, either through verification of appropriate permits, filed and



obtained by you, or by independent verification by the contractor. You may hire a contractor at your own expense to bring your property up to code, or you may do the work yourself, pending confirmation with your Town officials. USACE does not have any contractor preferences and takes no responsibility for cure actions required for participation in the Project.

There are three paths that a property may take pending the results of the screening:

1. Code Compliance Concerns but Able to be Remedied

In this scenario, you would undertake any work identified to bring your property up to code. After any rectification, USACE will review documents to check that the work has been completed and the property can re-enter the Project for inclusion in future phases. If the compliance concerns are reparable and not addressed during the duration of the current construction phase, the structure will be disqualified from the current Project phase and USACE cannot guarantee inclusion in future construction phases.

2. Code Compliance Not Able to be Remedied

If the structure is flagged as “not suitable for raise/flood proofing,” it will be automatically disqualified from the Project. Structural integrity issues that would result in Project disqualification include damaged structural elements (e.g., foundation or load-bearing walls). There may be opportunities for you to join in future Projects if you are disqualified from or decide to opt out of this one, but there is currently no timeline for future projects.

3. Structure is Code Compliant

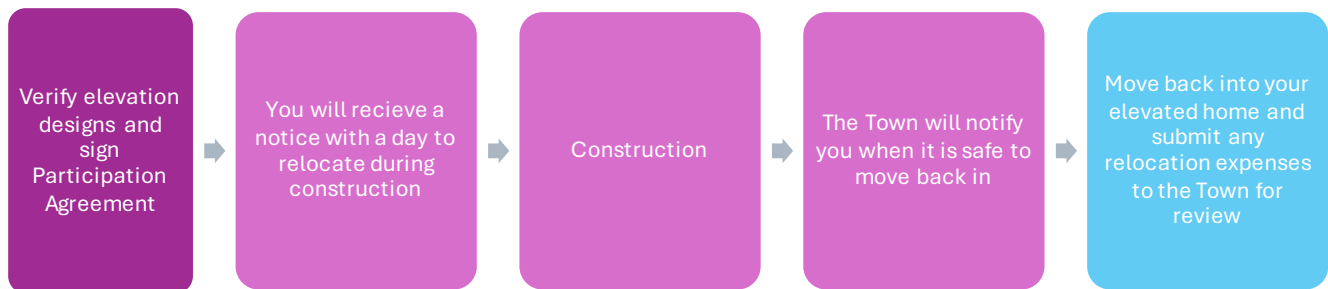
If the structure is code compliant, it will proceed to next steps.



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3. Design, Construction and Close Out

From final design sign off to moving into a newly elevated home



3.1 Commitment to Participate

Verify
elevation
designs and
sign
Participation
Agreement

Submitting interest through our website does not commit you to proceeding with the Project. As a property owner, you may opt-out of the Project even after indicating interest. There are several steps between indicating interest and the final commitment and you can change your mind at any point during these steps. To commit to construction, you will be asked to sign the Participation Agreement and the Restrictive Covenant.

These documents are signed at the same time during the Construction phase and will be provided to you after your property has gone through screening, elevation design, and your review of the elevation design. More information is provided in Section 3.

3.2 Required Forms and Documents

Documents Collected During Application and Screening

Prior to a fully executed Participation Agreement, you will be required to submit real estate documentation to USACE through the Towns. Electronic copies of documents will be accepted. Representatives of the Town of Babylon and Town of Brookhaven, as applicable, will reach out to you to determine which documents are necessary, collect forms, and provide these documents to USACE.

Below is a list of required real estate documentation. Your Town will coordinate and help facilitate collecting and processing these documents. USACE representatives will hold several



office hours in your Town to help work with you and the Town to collect all required documentation.

- Copy of the property deed;
- Survey of the property prior to any elevation work;
- Documentation that no property taxes are due;
- Documentation that mortgage(s) is in good standing (if applicable); and
- Current elevation certificate (if available).

Documents Collected Prior to Construction

Prior to the commencement of the Construction Phase, the following documents must be submitted and received:

- Signed Participation Agreement;
- Restrictive Covenant and
- Other real estate documents, such as the mortgage company concurrence, if applicable.

Any costs incurred while obtaining the required documents are not reimbursable. Originals, photocopies, or scanned copies will be accepted.

3.3 Design

After screening is complete, a Design-Build contractor (to be selected at a later point, an entity separate from the screening contractor) will complete the elevation design and initiate construction activities. Your approval is required prior to the finalization of design plans and start of construction. You will have opportunity for input as the final design is developed as long as the final design remains in the authorized scope of the Project. Any betterments such as adding additional height or significantly changing the design of your home cannot be accommodated with Project funds. The design will raise your house as-is to the design flood elevation (base flood elevation + two feet of freeboard). Per the FEMA flood insurance rate maps (FIRM), homes in V-Zones and coastal A zones the measurement will be made to the lowest structural



member supporting the first floor. If your home is located in an A zone, the measurement will be made to the finished first floor. The Project will account for relocation of applicable mechanical systems (e.g. relocation of boiler to elevated location), utility disconnection (for construction) and reconnection, and include the appropriate foundation (open or enclosed). More information regarding betterments (features above and beyond the project scope) is available in Section 3.6.1.

If you or other residents of the household have mobility issues, a physician's note is required to ensure that mobility concerns (e.g., an elevator or a ramp) are addressed in the final design.

3.4 Vacating the Property (Temporary Relocation)

You will receive a notice with a day to relocate during construction

You may remain in your home during the final design phase and the permit acquisition phase, however all residents must vacate the structure prior to the start of construction and remain vacated for the duration of construction. A detailed timeline will be provided to you in advance of finding accommodations. Construction durations are approximate and subject to change once a contractor is selected. You will be provided with a preliminary construction schedule and thirty (30) days' notice with respect to required time to vacate. You may wish to remove furniture from your home while it is being elevated as any furniture left in the home while it is being elevated is left at your own risk. In case where the lower level of the structure is slab on ground, removal of furniture and belongings from the lowest level will be mandatory. The construction process is estimated to be three to eight months.

Relocation and reimbursement assistance may be available under a new federal program. USACE is working with NYSDEC to determine if the program can be used to provide reimbursement for relocation assistance in the Project. More information about the program will be available in the future. Reimbursement for relocation costs may be approved for up to \$20,000. These reimbursements will be provided through your Town. Temporary accommodations will need to be approved in advance by the Town to verify they qualify. More details on this reimbursement will be communicated to you in a separate document.



3.5 Construction

Construction

During construction, the selected Design-Build contractor will perform work at your property. The Design-Build contractors will be chosen based on a two-phase selection process that considers qualifications and relevant experience. USACE personnel will be responsible for construction management during the Design-Build phase.

This Project does not include raising the grade on the property. Landscaping affected by construction will be replaced in kind. Any deviations considered betterments (see Section 3.6.1) are not eligible project costs and will be paid for by you. Betterments will not be included within the FIMP construction contract. A betterment is something that would be above and beyond what the Army Corps of Engineers is authorized to scope for the project.

Once a contractor is selected and begins working on designs then you will be able to discuss betterments directly with the contractor. However, USACE cannot be involved in any of the side negotiations between you and the contractor. We would like to emphasize that there is no guarantee the contractor would accept a side contract for betterments, as it comes as a potential risk to them. We also would like to caution that the additional height and the change in grade may result in additional permits, or code review outside the Corps' jurisdiction.

A general outline of a typical construction process follows:

1. Utilities are shut off. Doing this protects the property, the utility infrastructure, and those working on the house lifting.
2. Land directly around the property is excavated to expose areas to install lifting beams.
3. Lifting beams are installed.
4. The structure is lifted with jacks.
5. The supporting structure is then extended with openings to let water to flow through the extended foundation walls.
6. The structure is lowered onto the new supporting structure and utilities are turned back on.



For houses with slab on ground the house structure will be separated from the slab and lifted. A new elevated floor will be constructed supported on a new foundation. The existing slab and foundation will be demolished.

3.6 Eligible and Ineligible Project Costs

The FIMP Project will fully cover all eligible project costs necessary to elevate your property and retrofit its foundation. Eligible project costs of elevation include design costs, costs of obtaining required permits (for example, zoning or land use approvals, environmental permits or required certifications, historic preservation approvals, and building permits), unless identified as an ineligible project cost. Federal funds will not be used to restore, replace, or repair your property prior to elevation. You can find more information about requirements and construction methods on the project website.

Eligible Costs

Structures attached to the main building structure (such as a garage)
Raising of mechanical equipment
Utility connections that meet existing code
Vent construction for flood water entry and exit
Special access requirements and improvements
Tree removal and site restoration
Temporary site protection measures during site work
Allowable relocation assistance funds for displaced tenants in accordance with Uniform Relocation Assistance and Real Property Acquisition Policies for Federal and Federally Assisted Programs of 1970, Public Law (PL) 91-646, 84 Stat. 1894 842 USC 2401) (URA), as amended by the Surface Transportation and Uniform Relocation Assistance Act of 1987, Title IV of PL 100-17, 101 Stat. 246-256
Measures necessary to meet Federal statutes such as the Endangered Species Act and the National Historic Preservation Act

Ineligible project costs are specific modifications, improvements, repairs, and other costs that cannot be included in the project and will be your sole responsibility. Costs associated with bringing a non-conforming structure into compliance with current building code,



housing code, and/or other applicable codes are ineligible project costs. Additionally, the Project will not include elevation costs above the design first floor elevation.

3.6.1 Betterments

A betterment is a property improvement related to the elevation work but outside of the project scope. Betterments are not included as part of the Project costs. Additional work provided by the homeowner will happen after Project completion, under a separate permit.

It may be possible to include some betterments into your elevation provided that you bear the design and construction costs of the betterments. These betterments would need to be reviewed and accepted by the contractor as a separate negotiation. However, the modifications or betterments must be reviewed and approved by the State, subject to their Project Partnership Agreement terms, at least sixty (60) days prior to scheduled contract start date by the Design-Build contractor to ensure that such modifications will not impact the suitability and functionality of the nonstructural measures. There is no guarantee the contractor will accept adding betterments at their own risk.

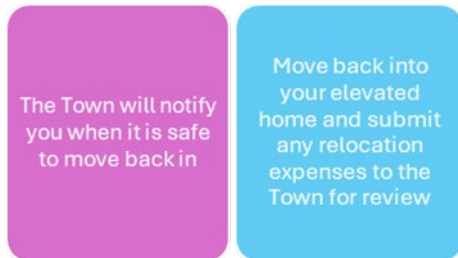
3.6.2 Septic System Requirements

Suffolk County Department of Health Services Office of Wastewater Management General Guidance Memorandum #8 dated September 22, 1997 requires a sewage disposal system upgrade when performing substantial renovation work on a property. In the Town of Brookhaven, sewage disposal system upgrades will be required when the property line falls within 150 feet of designated wetlands, or if the Suffolk County Health Department deems that the existing septic system is not functional.

The design contractor will inform you if an upgrade is required due to proximity to wetlands, or if hiring a professional engineer is necessary to confirm existing sewage disposal system functionality. These costs are not eligible Project costs and must be paid for by the homeowner.



4. Post-Construction



4.1 Warranty

There is a one-year warranty on construction, which will be incorporated in the contract. If a design or construction defect is discovered, the designer and contractor will be liable to fix it at their cost.

4.2 Flood Insurance Rates and Property Taxes

Reach out to your town tax offices, mortgage lender, and flood insurance provider to understand how elevating your property may affect your flood insurance rates and property taxes. USACE does not issue or set flood insurance requirements and is not involved in collecting property taxes.



4.3 Residual Risk

The information provided below is intended to inform you about the likelihood of coastal storm damage *after* a residential structure is elevated, i.e. residual risk. Four potential sources of residual risk have been identified:

1. Coastal storms with water levels higher than the BFE, realizing that the determination of the BFE is based on a statistical analysis.
2. Increased sea level rise may impact elevated structures.
3. Surrounding roadways will not be elevated as part of this Project, potentially limiting access to your property during a storm event.
4. Even though the design approach of the Pilot Project will be code compliant, raising of the structure does not harden the original structure with respect to wind or seismic events.

While elevation is an important risk reduction measure, it is critical to understand that elevation does not result in a structure being immune from future flooding. A structure may still flood if storm events result in flood elevations above the design flood elevation. You are advised to follow evacuation warnings.





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5. Contact Us

Please direct your questions to FIMP.NS.Admin@usace.army.mil

or contact the project hotline at (347) 588-1225.

All calls will be recorded and responded to in the order they are received.

Office Hours and Public Outreach Meetings are held to provide you with an opportunity to ask questions in person. Outreach meetings may be attended by representatives of the USACE and NYSDEC, local representatives, and staff from Dewberry Engineers. Outreach meetings will be posted to our website <https://www.nan.usace.army.mil/FIMPRSN/> as they are scheduled.

Town Points of Contact

Town of Babylon: Brian Zitani bzitani@townofbabylonny.gov

Town of Brookhaven: Michelle DiBrita mdibrita@brookhavenny.gov

Scan here to learn about the FIMP Home Elevation Pilot Project:



www.nan.usace.army.mil/FIMPRSN